

EMSLEY MAVOR
ESTATE AGENTS

...your home is where our heart is



Back Lane

, Easingwold, YO61 3BP

Offers Over £625,000



Back Lane

, Easingwold, YO61 3BP

STYLE - Period Home with Annex.
Easingwold Market Place

HIGHLIGHTS - Beautifully Renovated and
Styled Throughout. Versatile, Light and Bright
Space. Lovely Courtyard. One Bed Open Plan
Annex. Single Garage.

THREE WORDS - A. REAL. GEM!

CHARMING EASINGWOLD HOUSE WITH ANNEX

Nestled in the heart of Easingwold, Park
House offers a rare opportunity to own a
beautifully renovated period property, just a
stone's throw from the vibrant market place.
This hidden gem seamlessly blends historic
charm with modern convenience, creating an
inviting home with a separate annex, perfect
for family or as an Airbnb venture.

STEP INSIDE

Upon entering, you're greeted by a light-filled
vestibule with built-in storage, leading to an
open-plan ground floor. The space, once a
garage, has been thoughtfully transformed into
a sociable living and dining area, complete with
a contemporary kitchen. Designed for the
discerning chef, the kitchen boasts modern
appliances and French doors that open onto a
charming courtyard—ideal for alfresco dining
and entertaining.

The ground floor also features a practical
utility room and a sleek bathroom.





UPSTAIRS

Ascend to the first floor to discover two elegantly styled double bedrooms with fitted wardrobes and a contemporary shower room. The third room spans the width of the house, offering a versatile space currently used as an art studio, with ample natural light from front-facing and Velux windows, and an exposed brick fireplace adding character.

COURTYARD

Outside, the repaved courtyard with a newly rendered wall provides a delightful setting for gatherings. Access to a garden store and single garage ensures practicality.

THE ANNEX

Stone steps lead to the self-contained annex, a beautifully styled open-plan space with a vaulted ceiling. Renovated approximately four years ago, this annex presents a superb business opportunity or a welcoming guest suite.

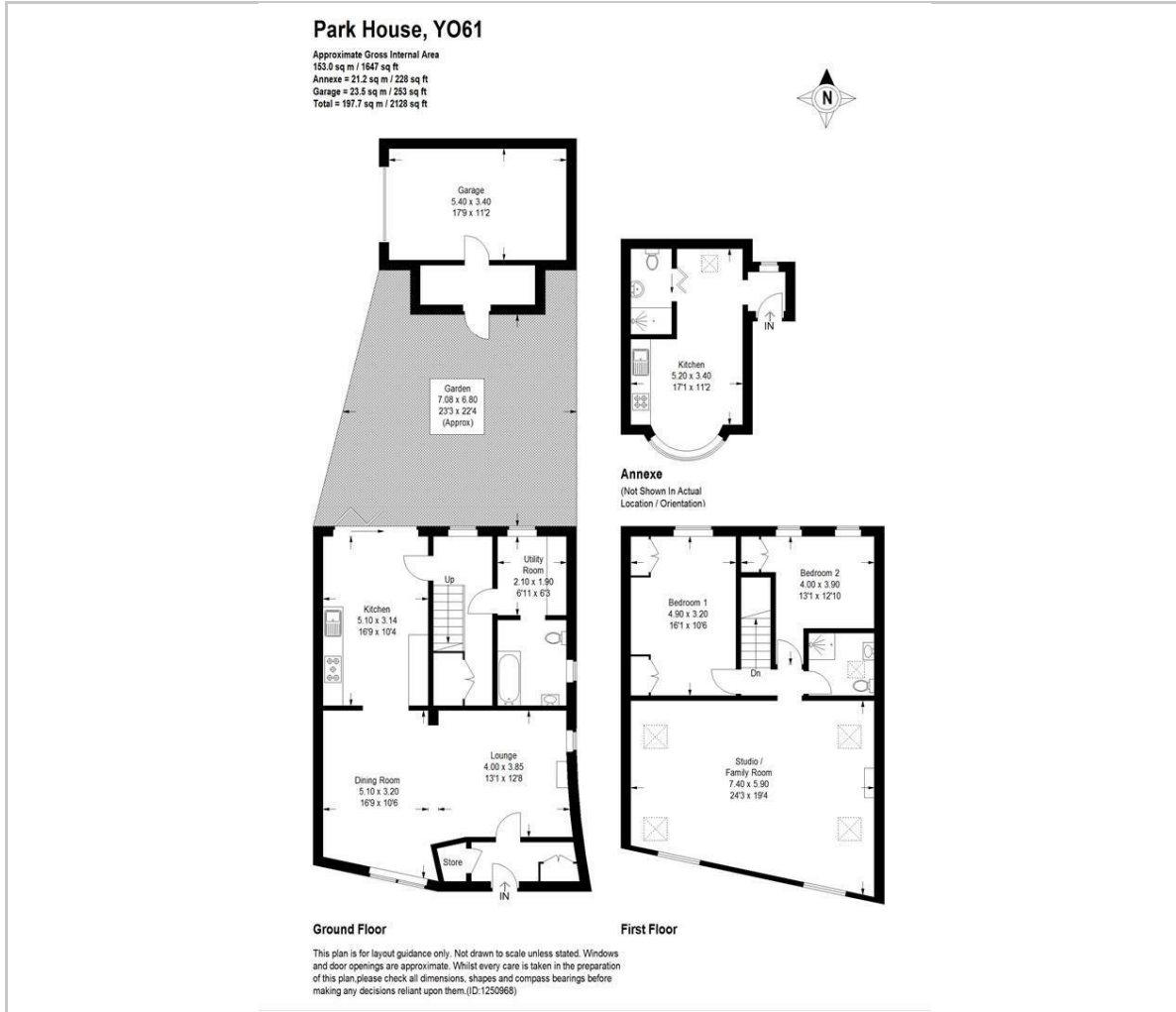


Covering a total of 2,128 square feet, with the main house offering 1,647 square feet, Park House is a testament to thoughtful design and meticulous renovation. Including mains board and boiler, newly fitted kitchen, flooring and new bathrooms to ground floor and upper floor. With its blend of period features and modern amenities, this impressive home is a must-see for those seeking character and convenience in Easingwold.

Arrange a viewing today to experience the charm and potential of Park House.



Floor Plan



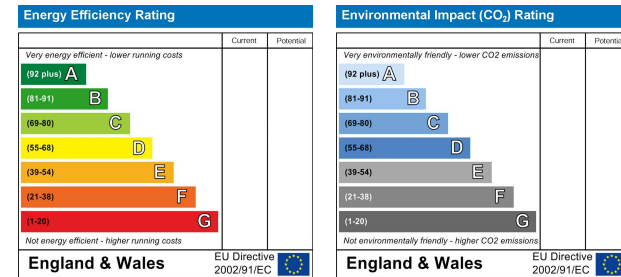
Viewing

Please contact our Emsley Mavor Estate Agents Office on 01347823579 if you wish to arrange a viewing appointment for this property or require further information.

Area Map



Energy Efficiency Graph



These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

1 Tollbooth Building Market Place, Easingwold, North Yorkshire, YO61 3AB
 Tel: 01347823579 Email: info@emsleymavor.co.uk http://emsleymavor.co.uk